

Town of Newport, New Hampshire
Building Assessment | July 31, 2017



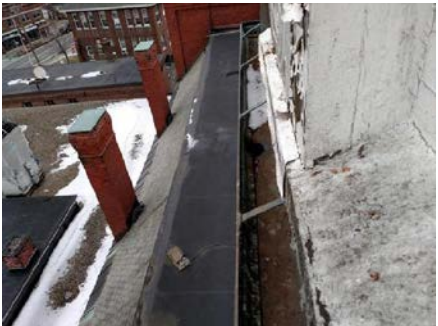

Building: Opera House
 20 Main Street
 Newport, New Hampshire

Condition	
1	Fully operational, new, recently replaced
2	Fully operational, 0-25% of life expectancy used, no issues, no concerns,
3	Fully operational, 25-50% life expectancy used, periodic problems
4	Operational, 50-75% life expectancy used, occasional problems, frequent repairs needed
5	Operational only with constant attention, 100% life expectancy used, failure imminent






Priority is scaled 1-10 with 1 being urgent

Architectural







Brick building originally built for Town Hall and court house that replaced the Museum courthouse. Featuring the largest and I suspect most modern multipurpose hall with stage. The building is in great condition with work continually being completed. Newport has many really nice historical building but this one has to be the gem. Presently housing County Superior Court and upstairs used for various functions including plays. This building has received numerous repairs over the years ;keep it up.

Equipment	Condition	Est. Remaining Service Life	Priority	Cost Estimate	Remarks & Recommendations	Photos	
906,Exterior Note:	4	3	3	\$5,000	Portions of clock tower need to be painted, check flashing and/or install new flashing to minimize maintenance, appears slate in vents needs to be worked on.		




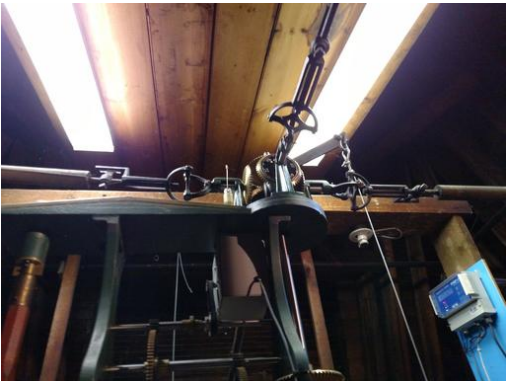

Town of Newport, Building Assessment July 31,2017

	equipment	condition	Est remaining Service life	priority	cost	remarks & recommendations		
	841,Slate	1	75	10	\$18.00 sq.ft	Roof slate was replaced in 1995 and should last from 50-100 years depending on the slate quarry		
	840,Rubber roof	5	0	1	\$ 18/sq.ft. 5,000sq.ft. \$90,000	Rubber roof dates to 1989 making it 27 years old; this roof should be scheduled for replacement as it is at end of life. The challenge will be replacing the rubber under the antennae array; hopefully the lease agreement has some language in favor of the town.		
	842,General Note					maintain distinctive ventilators, either re purposed or as dummies, should be painted		




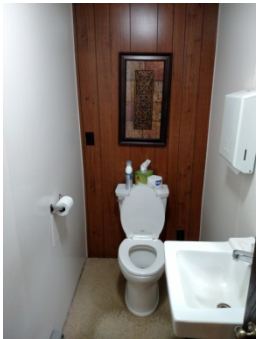
Town of Newport, Building Assessment July 31,2017

	equipment	condition	Est remaining Service life	priority	cost	remarks &recommendations		
	909,General Note					continue excellent work preserving these original wooden shutters		
	843,General Note					incredible hall in very good condition, work periodically performed, stained glass windows being restored, plaster ceiling under mezzanine replaced great job	 	
	904,Brick	1	50+	9	\$1.50 sq.ft.	Brick could use a cleaning in the future.		
	903,Exterior Note:	5	50	1	\$15,000	Granite stairs should be rebuilt to close gaps and water entry.	 	





Town of Newport, Building Assessment July 31,2017

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	847,Brick	2	50+	6	\$5-10 sq.ft.	Brick is in good condition, mortar should be checked for potential re-pointing, make sure pointing cement matches strength of existing (no stronger) and no colored mortar.		
	853,General Note	1	50+	10		Great clock system that has been converted to power.		
	908, Item of Interest					part of the original fire hose system this wheel on the balcony traveled to the main floor and turned on the water		





Town of Newport, Building Assessment July 31,2017

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	846,Exterior Note:					Clocks work and there is a system to replace lights, should install LED bulbs at least in existing to minimize replacement intervals, old weighted clock system has been electrified, used to run off wood baskets in corner of tower filled with rocks, akin to weight on grandfather clocks		
	849, Salvage					Ken and staff have been good in storing original removed parts in the attic,. I cannot stress enough that this practice is important any thing removed and not needed should be archived for		
	844, ADA,Code					bathrooms not correct quantity, verify HC compliance, vertical access is owned by superior court with use limited to after court hours		






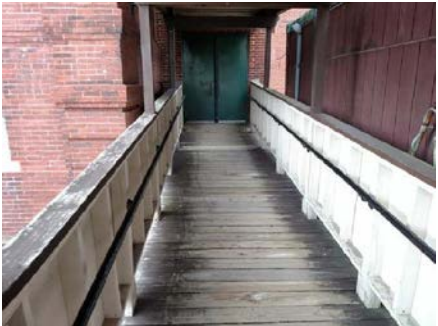
Town of Newport, Building Assessment July 31,2017

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	902,General Comment:					Some really significant historical trim and furniture still remain. As mentioned elsewhere, Ken and staff have grabbed and saved parts that have been removed. Make sure this tradition is carried on if any original part, trim, door, glass or furniture, etc. is removed for modernization, store it in the attic or basement.		
	907, Stair					Kudos to Ken and team in rebuilding this stair to look exactly like the original		
	876,ADA Issues:					ADA ramp and elevator are within the superior court lease space. Potential conflict to hall for access during the day.		


Town of Newport, Building Assessment July 31,2017

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	852,Interior note	4	3	4	\$1,000	repair flooring and possibly add protective covers for jambs, moving chairs and tables is not going to stop . Floor makes it more difficult and potentially banging into trim		
	845, Law & ADA					bathrooms in basement (only other beside two on hall floor) are not vertically accessible nor are they accessible if you could get to that floor, there are people that need ADA features who are not in wheelchairs		
	913,Stairs	4	4	1		Stairs from shared parking lot need paint and repair of treads and also grading to steps.		

Town of Newport, Building Assessment July 31,2017

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	851, Energy	1		4		accommodations should be made to close these openings in during heating season, they presently are open to the attic and heat pours thru them , take care to accommodate the heat of the lights.		
	915, Exterior note	4	5	5		Pavement keeps water from basement, could be replaced with rubber membrane and stone.		
	850, Law					dressing rooms do not meet ADA and potentially have longer than allowed dead end corridors, keep all emergency lighting, detectors and pull stations up to date, area overheats and suggest steam pipes that travel thru rooms be insulated for energy savings and safety		
	911, Exterior Note:	4	3	4	\$3.50 sq.ft	Suggest wood planks be painted with 'Rescue It' by Olympic and general painting of handrail and walls.		

Town of Newport, Building Assessment July 31,2017

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	910, Exterior Note:	4	3	4	\$3.50 sq.ft	Paint metal and suggest renewal type paint for the wood like Olympic 'Rescue It'.		

Structural



	<p>Structural Description: This building is a theater, constructed circa 1886. It is on the National Register of Historic Places. The orchestra floor is level (not sloped), does not have fixed seating, and constitutes the majority of the second floor space within the building. The theater includes a suspended balcony on three sides of the auditorium. There is a raised stage with a full stage fly and stage rigging system. To the rear of the stage are several smaller spaces used as green rooms and for theater management functions. Public access to the theatre is via a street level lobby and grand stairway on the Main Street (west) side of the building. The first floor of this building has been converted into the county courthouse. This level of the building is entirely separated from the theater and is accessed by a separate, side entry building addition constructed along the north side of the original Opera House. The building has a full basement, largely unfinished, used primarily for theater storage. The building features a two-level bell tower at its west end. The bell tower and the stage fly constitute the highest roof elevations of the building.</p> <p>Where not concealed by finish work, the floor and roof framing were observed to be entirely of wood construction, using wood decking and dimensional lumber joists (typically 2x12) and rafters (size varies). The principal carrying beams are primarily heavy timber sections. In general, the framing is exposed to view within the attic, in the stage fly, at the upper levels of the clock tower, and at the underside of the first floor. The perimeter walls of the building are multi-wythe brick masonry. The interior bearing walls at the basement level are also multi-wythe brick masonry, frequently with arched openings through the walls to provide for circulation throughout the basement level. The supporting interior structure at the first floor level is a mix of masonry walls and round cast iron columns. The interior columns and load-bearing walls extend up through the first floor to support the second floor framing. Above the second floor, the auditorium and stage areas are largely free of interior supporting walls and columns. The roof structure spans the entire width of the auditorium and stage areas using story-deep trusses comprised of heavy timber chords and web diagonals and iron rod web verticals. These roof trusses also support the auditorium balcony via hanger rods. These trusses are key, complex structural elements – further review and investigation of their condition is warranted.</p> <p>The bell tower has a heavy timber primary structural frame, with dimensional stud and rafter infill framing. Iron beams were utilized to support the exterior wall of the tower along the interface between the bell tower and the building attic. Although it is inoperable, the bell remains in place within the tower. Several antennas and an antenna tower have been added to the roof of the stage fly. These antennas and their attachments could not be accessed for this report, however further structural review of those antenna installations is recommended. Details of the courthouse entry addition were entirely concealed by finish work and were not accessible for inspection.</p>						
	599,Roof					Chimneys/vents: vertical height above roof of these chimneys represents a potential seismic hazard.	

Town of Newport, Building Assessment July 31,2017





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	598,Tower					Rohn Antenna tower on roof of stage: Guy anchorages should be reviewed for adequacy.		
	597,Slab on Grade					Granite steps at front entry – not grouted, undermined, supporting soils washed out. Should be re-supported, then sealed where the treads meet the risers.		





Mechanical

	586,Sprinkler standpipe					Sprinkler piping is exposed in many areas.		




Town of Newport, Building Assessment July 31,2017

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	289,Bathroom	3 Fully operational, 25-50% life expectancy used, periodic problems	10 Years	8	\$1,000 per fixture	*for ADA Compliance Floor mount tank type toilets, counter mount single handle faucet w/drinking water fountain attachment. These bathrooms serve as public bathrooms for the multipurpose hall. They do not appear to be ADA Compliant.		
	268,Slop Sink	3 Fully operational, 25-50% life expectancy used, periodic problems	15	10	\$1,000 per fixture			





Town of Newport, Building Assessment July 31,2017

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	265,266Steam Radiators	3 Fully operational, 25-50% life expectancy used, periodic problems	**			**Many more years if maintained. Floor mount steam radiators under all windows provide heat for multipurpose hall. Typical throughout building. Recommend annual inspection.		
	600,Smith Model# 19HE-S/W04 316,000 BTU oil fired boiler Installed 2/20/17	1 Full operational, new, recently replaced	30 Years	10	\$20,000	Final installation and commissioning was taking place during our visit.	 	
	289,Floor mount tank type toilet, wall mount lavatory dual handle faucet typical	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	15 Years	10	\$1,000 per fixture	This bathroom serves the public for the superior court and appears to be ADA Compliant.		





Town of Newport, Building Assessment July 31,2017

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	290,598,600 BTU oil fired steam boiler	5 Operational only with constant attention, 100% life expectancy used, failure imminent	1 to 2 Years	1		Boiler to be replaced soon.		
	583,Wall-mounted lavatory with dual handle faucets, floor mounted tank type toilet	4 Fully operational, 50-75% life expectancy used, occasional problems, frequent repairs needed	3 to 5 Years	3	\$1,000 per fixtures	This bathroom serves the backstage dressing room area and is used regularly.		
	288,Electric water heater Make: STATE	3 Fully operational, 25-50% life expectancy used, periodic problems	5 to 10 Years	7	\$1,000	Provides domestic hot water to backstage dressing room area. Unable to visualize nameplate. Recommend installing a water tight drain pan a under water heater to prevent a safety hazard if water heater was to fail. Also, pipe pressure relief away from people using the bathroom.		

Town of Newport, Building Assessment July 31,2017



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	284, Steam condensate metering					Pumps are no longer in service. Steam services should be removed completely if not longer used.		
	283, Abandoned in place steam piping and valves					Steam services should be removed completely if not longer used.	 	
	282, Sprinkler system	4 Fully operational, 50-75% life expectancy used, occasional problems, frequent repairs needed	1 to 5 Years	1	\$4.00 sq.ft.	Consists of one wet zone in occupied areas and one dry zone in the attic area. Sprinkler is mostly run exposed to view. System appears to have been installed 35 plus years ago. During our visit, a leak developed.		

Town of Newport, Building Assessment July 31,2017

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	279,Floor mounted tank type toilets, wall mounted lavatories with single handle faucets, wall mounted urinals with single handle flush valves and exposed waste piping	3 Fully operational, 25-50% life expectancy used, periodic problems	5 Years	6	\$1,000 per fixture	Typical for bathrooms in lower level below multipurpose hall. Fixtures are not water conservation type.		
								
	276,Water entrance 3/4" copper pipe with remote read meter and PRZ					Maintained by water dept.		

Town of Newport, Building Assessment July 31,2017






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	275, Model- GE30M06AAG 30 Gallon Electric water heater Installed 10/25/12	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	20 Years	10	\$2,000	Provides domestic hot water throughout building except backstage dressing room area bathroom.		
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Town of Newport, Building Assessment July 31,2017

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Electrical

	273,Fire alarm panel in US Cellular room in attic	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	20 Years	10	\$5,000	Installed in 2013, this panel may not belong to the town of Newport. It's located in US Cellular room in attic area.		
	272,Outdoor lighting	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	20 Years	10	\$600 each	Illuminates the Clock Tower. Exterior lighting is controlled through timer panel.		
	287,FACP Installed in 2013	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	20 Years	10	\$6,000	Main fire alarm control panel for Opera House and County Building. Control panel is dispatched to the police department which is the central dispatch.		





Town of Newport, Building Assessment July 31,2017

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	286,Meters	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	20 Years	10	\$3,000	One meter provides metering for the county courthouse and the other meter provides metering for the Town of Newport. Maintained by power supplier.		
	285,120 / 240 volt 400 AMP surface mount panelboard	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	20 Years	10	\$8,000		 	
	274,100 AMP surface mount panelboard No identification nameplate on panel board	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	20 Years	10	\$2,000			

Town of Newport, Building Assessment July 31,2017

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	267,Pull stations horn strobe at all exits	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	20 Years	10	\$250 each			
	581,Surface mount fluorescent lighting fixture	4 Operational, 50- 75% life expectancy used, occasional problems, frequent repairs needed	1 to 5 Years	3	\$300 each	Research with power supplier for lighting rebate options. Light lenses have discolored and require ballast replacements occasionally.		
	582,100 AMP flush mount panel No name plate for identification	3 Fully operational, 25-50% life expectancy used, periodic problems	10 Years	10	\$1,000	Serves courtroom in office area lighting and power. Panel is labeled but recommend confirming labeling is correct.	 	


Town of Newport, Building Assessment July 31,2017

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	580,Fire department connection	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	20 Years	10				
	278,Emergency light at Exit Sign typical	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	20 Years	10	\$500 each			
	281,120 / 208 volt 225 AMP 3-phase surface mount panelboard	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	20 Years	10	\$4,000	No panelboard name plate for identification.	 	

Site

Town of Newport, Building Assessment July 31,2017

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	Parking area is shared by current Town Hall, Opera House and Museum/Restaurant. Pavers out front on Main Street should be repaired as they have settled. Asphalt pavements show typical alligator cracking, settlement and potholing in several areas. It appears that some areas may have had two or more lifts of asphalt applied to correct settlement/drainage issues as well as cracking/wear in the interior parking area behind the Town Hall							
	914,Pavement	4	3	2	PF \$7.17 sq.ft.	Potholes in lower parking area.		
	912,Pavement	2	15+	10	\$25.00 sq.ft.	Pavers at sidewalk are in good condition	