








Building: District Court
55 Main Street
Newport, New Hampshire

Condition	
1	Fully operational, new, recently replaced
2	Fully operational, 0-25% of life expectancy used, no issues, no concerns,
3	Fully operational, 25-50% life expectancy used, periodic problems
4	Operational, 50-75% life expectancy used, occasional problems, frequent repairs needed
5	Operational only with constant attention, 100% life expectancy used, failure imminent







Priority is scaled 1-10 with 1 being urgent

Architectural						
	This building was originally a bank with an addition to the right facing the building from the street. Generally exterior is in very good condition; roof should be replaced and phased replacement of windows. Exterior planter needs immediate attention. Interior space needs new carpet and ADA bathroom on second floor. There is only one enclosed fire stair from the second floor.					
	Equipment	Condition	Est. Remaining Service Life	Priority	Cost Estimate	Remarks & Recommendations
						Photos








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	equipment	condition	Est remaining Service life	priority	cost	remarks &recommendations		
	835,Exterior Note:				\$250,000	Drive up teller canopy serves no real purpose and could be removed, enclosing it for a sallyport will be difficult because of grade difference. However This would greatly increase security.		
	834,Exterior Note:	5	5	5	\$1,500	Exterior planter needs to be repointed.		
	833,Exterior Note:	1	25+	10		Brick and flashing in good condition.		
	832,Exterior Note:	5	0	4	\$7.00 lineal ft	Re-caulk control joints.	 	

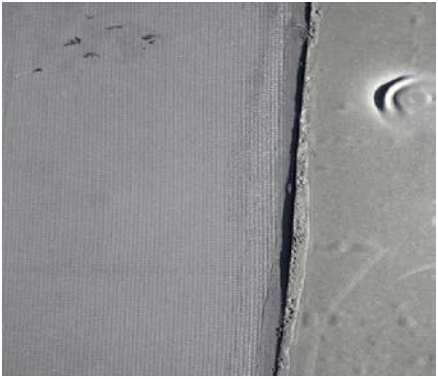




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	equipment	condition	Est remaining Service life	priority	cost	remarks &recommendations		
	146, Windows	4	5-10y	7	\$50-75 Per square foot	Combination, pella ,alu and other windows all approaching end of life		
	831,Floor VCT	5	0	1	\$1.45	Strip and wax all VCT.		
	147,Code					One stair from second floor , no storage in stairwell, door should not be held open.		
	830,Acoustic	4	7	8	\$3.00 sq.ft. Regular 2'x4'	Spline type ceiling is difficult to maintain, suggest replacing when replacing light fixtures.		

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	829,Floor Carpet	5	4	5	\$3.00 sq.ft.	Generally replace carpet.		
	826,Exterior Note:	2	20+	10		Copper flashing appears to be in good condition and should be reused in reroofing.		
	825,Exterior Note:	5	1-2	2	\$500	Repair concrete wash on chimney.		
	824,Rubber Roof	4	5	4	\$18 sq.ft. 5,105sq.ft. \$91,890	Roof is at end of life and should be replaced.		

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	equipment	condition	Est remaining Service life	priority	cost	remarks &recommendations		
								
	823,Rubber Roof					Remove unused rooftop equipment when replacing roof.		
	823,Rubber Roof					When roof is replaced, remove non-standard details, follow manufacturer standards at a minimum.		
	Rubber Roof					Best portion of roof and has been repaired, end of life and should be replaced.	 	

Structural




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	<p>Structural Description: This is a 1-1/2 story, free-standing, 8690 square foot commercial bank building, constructed circa 1976, converted into the District Court circa 2003. The roof of the building includes both flat and pitched areas, both of which are framed using dimensional lumber rafters (2x12 at 2’-0” on centers, most typically) supported on a primary structural steel frame. The second floor is comprised of a cast-in-place concrete slab cast on 1.5” deep composite steel deck, with the deck supported by structural steel beams and girders. The first floor is entirely a grade-supported concrete slab. The building does not have a basement.</p> <p>The courtroom occupies a two-story high room with a sloped ceiling/roof and a clerestory. Columns are typically round steel sections (most likely pipe sections). The exterior walls and selected interior feature walls have a single wythe brick masonry veneer. The composition of the walls inboard of the brick was concealed by finish work but are believed to be comprised of light gauge metal framing studs.</p> <p>While the building’s structural systems are generally contemporary and were observed to be in good condition, the building likely predates building code design requirements for snow drift and seismic loads.</p>							
	Equipment	Condition	Est. Remaining Service Life	Priority	Cost Estimate			
	215,Caulking					Exterior brick veneer: control joint filler is cracked and needs to be replaced - typical all around building.		
	Slab on Grade					First Floor: Slab on Grade (no basement) - For info only.		
	213,Seismic Vulnerability					Decorative brick wall unrestrained at top of wall.		





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	equipment	condition	Est remaining Service life	priority	cost	remarks &recommendations		
	212,Seismic Vulnerability					Single wythe interior brick ornamental wall is unrestrained at top of wall.		
	131,Composite Floor					Second floor: Cast-in- place concrete slab on cold-formed, composite steel deck, supported on structural steel framing. Typical beam spacing 7' +/- o.c. (for info only)		
	130, Rafters					One-story pitched roof area over courtroom and rear of building: Rolled steel beam rafters running down the slope with 2X10 @ 24" framing across slope. (for info only)		





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Mechanical							
	Equipment	Condition	Est. Remaining Service Life	Priority	Cost Estimate		
	566,Rooftop curb mounted E.F.	3 Fully operational, 25-50% life expectancy used, periodic problems	10 Years	10	\$2,500	Unable to determine what this fan serves and unable to retrieve info on nameplate. Recommend annual inspection.	 
565,Rooftop curb mounted E.F.	3 Fully operational, 25-50% life expectancy used, periodic problems	10 Years	10	\$2,500	Fan exhausts bathrooms. Unable to retrieve information on nameplate. Recommend annual inspection.	 	
564,180,000 BTU Gas Fire Rooftop Unit w/DX Coil Installed in 2008	4 Operational, 50- 75% life expectancy used, occasional problems, frequent repairs needed	15 Years	10	\$8,500	Unit is installed on a retro fitted curb.	 	


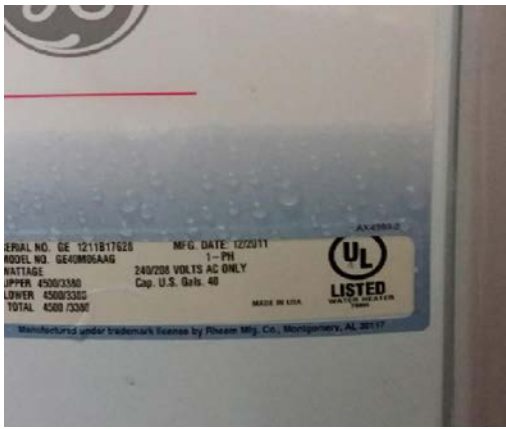



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	563,Abandoned rooftop unit					Unit is still in place but no longer in service. Should be removed if/when roof is replaced.		
	562,180,000 BTU Gas Fired Rooftop Unit w/DX Coil Installed in 2011	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	15 Years	10	\$8,500	Rooftop unit is mounted on existing curb with curb adapter.	 	
								



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	550, Exit sign	1 Fully operational, new, recently replaced	20 Years	10	\$400 each location	Horn strobe light device, pull Station typical at all exits. Appears to be in working order.		
	549,Floor mounted tank type toilet Wall mounted lavatory single valve faucet	3 Fully operational, 25-50% life expectancy used, periodic problems	10 Years	10	\$1,000 per fixtures	Fixtures are not the water conserve type.	 	
	556,Countertop lavatory with dual handle faucet	3 Fully operational, 25-50% life expectancy used, periodic problems	10 Years	10	\$1,000 per fixtures	Fixtures are not the water conserve type.		

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	545,40 Gallon Electric Water Heater Model GE 40068 G Installed 2011	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	15 Years	10	\$1,500	Domestic hot water is recirculated through TACO inline recirculation pump.		
								
	557,Tamper-proof combination toilet and lavatory for one holding cell	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	15 Years	10	\$1,500	Recommend bi-annual inspection for damage.		
	555,Wall mount slop sink typical of 2	3	10	10	\$1,000			




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	equipment	condition	Est remaining Service life	priority	cost	remarks &recommendations		
	551,Wall mount lavatory single handle faucet Wall mount single handle flush valve urinal Floor Mount tank type toilet fixtures of typical for both men's and women's bathrooms	3 Fully operational, 25-50% life expectancy used, periodic problems	10 Years	10	\$1,000 per fixtures	Fixtures are not the water conserve type.		
	539,Ceiling-mounted NuTone bathroom exhaust fan	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	15 Years	10	\$500	Vented through side wall typical for men's and women's bathroom.		
	537,Inch and a half copper water entrance with rpz and meter, With remote read					Maintained by water dept.		




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Electrical

	Equipment	Condition	Est. Remaining Service Life	Priority	Cost Estimate	Remarks & Recommendations		
	548,100- AMP Flush Mount Sub Panel Unknown date of install	4 Operational, 25-50% life expectancy used, occasional problems, frequent repairs needed	5 Years	5	\$350	Panelboard requires blank plate over open space.		
	547,100 - AMP 240 Volt 3 Phase Flush Mount Panelboard	4 Operational, 25-50% life expectancy used, occasional problems, frequent repairs needed	5 Years	5	\$1,000		 	





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	570, 3 Phase Electrical Service underground to building	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	15 Years	10	\$25,000	Transformer is interior of building.		
	569,Pad Mount Transformer	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	15 Years	10		Maintained by utility		
	568,Exterior Lighting control by timer switches	3 Fully operational, 25-50% life expectancy used, periodic problems	10 Years	10	\$500 each	Typical on exterior of building.		







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	567,1000 - Gallon buried LP tank.	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	15 Years	10	\$10,000			
	561,750 - Pound Capacity Electric wheelchair elevator	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	15 Years	10		Typically renovated every 20+ years, not replaced		
								



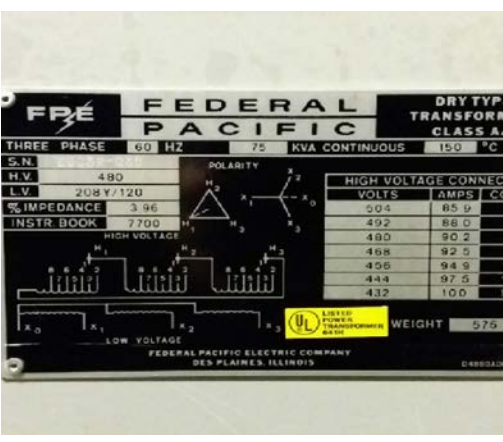

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	559,544,8 - Foot and 4 – Foot strip of electrical radiation baseboard	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	15 Years	10	\$600 each	Controlled by wall mounted thermostat. Typical throughout building.		
	558,Wall mounted emergency lighting with battery backup	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	15 Years	10	\$300 each	Typical throughout Building.		
	554,100 - AMP 277 / 480 Volt 3-Phase surface mount panel	4 Operational, 25- 50% life expectancy used, occasional problems, frequent repairs needed	5 Years	5	\$1,000		 	






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	553,100 – AMP 240 volt surface mount panelboard	4 Operational, 25- 50% life expectancy used, occasional problems, frequent repairs needed	5 Years	5	\$1,000			
	541, Floor mount 480 Volt 5 KW electric cabinet heaters	2 Fully operational, 0-25% life expectancy used, no issues, no concerns	15 Years	10	\$600	Typical of entry vestibules throughout building.		
	540,1x4 Foot and 2x2 Foot 277 - Volt Fluorescent lighting fixtures	3 Fully operational, 25-50% life expectancy used, periodic problems	10 Years	10	\$300 each	Typical throughout building.		

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	536, Fire Alarm Control Panel	1 Fully operational, new, recently replaced	25 Years	10	\$3,000	Fire Alarm Control Panel is dispatched to the police station which is the Central Dispatch Center. Installed in 2013.		
	535, Floor mounted 75 KVA transformer	5 Operational only with constant attention, 100% life expectancy used, failure imminent		10		Transformer is no longer in service. Transformer was previously used for the electric heated sidewalks.	 	
	534, 100 – AMP 277 / 480-Volt 3 phase snow-melting	5 Operational only with constant attention, 100% life expectancy used, failure imminent				Panelboard is no longer in service but in place. Existing snow melting no longer in service.		

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	533, 225 – AMP 277 /480 Volt 3-phase Panelboard	4 Operational, 25-50% life expectancy used, occasional problems, frequent repairs needed	5 Years	5	\$4,000			
	532, Two 400 - AMP 277 / 480 Volt 3 phase Panelboards	4 Operational, 25-50% life expectancy used, occasional problems, frequent repairs needed	5 Years	5	\$8,000			
	531, 400 – AMP main disconnect with meter fed from pad mounted transformer	4 Operational, 25-50% life expectancy used, occasional problems, frequent repairs needed	5 Years	5	\$1,000			

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Site								
	Concrete sidewalk at the front side of the building is weathered and worn, especially at the edges of the concrete slabs. Crosswalks show cracking and settlements. The asphalt pavements for the driveway and parking areas to the side and rear of the building show evidence of surface wear (polishing), transverse cracking (along the driveway), transverse and longitudinal cracking, as well as alligator cracking. Potholes, with evidence of sub grade fines pumping were noted at the entrance to the parking lot at West Street.							
	Equipment	Condition	Est. Remaining Service Life	Priority	Cost Estimate	Remarks & Recommendations	Photos	
	Pavement	5	5	3	\$25.00 sq.ft. 5.984 sq.ft	Cracked weathered and eroded concrete sidewalk at front of the courthouse. Suggest pavers to match existing sidewalk standard		
	Pavement	5	4	5	PT \$2.80 sq.ft. 15,608 sq.ft. PF \$7.17 sq.ft.	Alligator and transverse/ longitudinal cracking at the rear of the courthouse.	