


Building: Ambulance Building
 15 – 17 Meadow Road
 Newport, New Hampshire

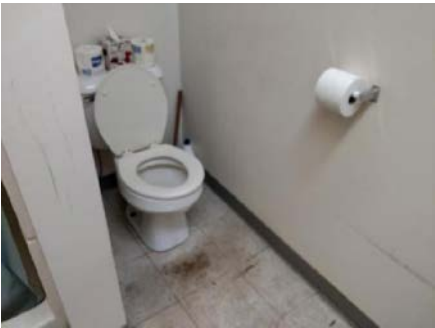





Condition	
1	Fully operational, new, recently replaced
2	Fully operational, 0-25% of life expectancy used, no issues, no concerns,
3	Fully operational, 25-50% life expectancy used, periodic problems
4	Operational, 50-75% life expectancy used, occasional problems, frequent repairs needed
5	Operational only with constant attention, 100% life expectancy used, failure imminent

Priority is scaled 1-10 with 1 being urgent

Architectural							
	This building has had multiple uses in the past and needs some work just to prevent deterioration. It barely provides adequate space for their needs and is missing many code items such as vehicle exhaust as well as ADA issues.						
	Equipment	Condition	Est. Remaining Service Life	Priority	Cost Estimate	Remarks & Recommendations	Photos
	696, Garage Floor	deteriorating		5	\$4,600	Bare concrete floor that is chipping, repair chipping and seal floor.	





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	694 ADA					Building and bathroom are not ADA Accessible.		
	693,Floor Finishes	deteriorating	5 years	3	VCT \$5.00 per sq.ft. Carpet \$3.50 per sq.ft.	Carpet and VCT that is cracking should be put on schedule for replacement.		
	692,Siding	deteriorating		10	Carpentry repair \$400 Pressure wash \$.40 /sq.ft. Vinyl Siding \$5.0 sq.ft.	Nail existing t-111 siding, power wash and stain, suggest adding t-111 or vinyl over metal siding, need to close to the weather open sheathing.		
	691,EN					Freezer body used for salt/sand storage.		





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	690, Siding	5	4	9	Cut siding And install new synthetic trim \$7.50 per lineal foot	Siding is rotted at bottom, suggest cutting back one foot and adding a synthetic material with flashing.		
	689, Stain	5	4	8	Pressure wash \$.40 /sq.ft Stain \$1.50 /sq.ft	Deteriorating Power wash and stain this siding typical.		
	153,General Comment:	4	4-6y	4	Tree removal \$300	Remove tree, has created environment that rotted siding and will accelerate aging of roofing.		
	151,Roof	2	20	10	In future remove and replace \$7.00 sq.ft.	Asphalt shingle relatively new arch type.		





Structural							
	Considering this is an emergency facility and given the conditions noted below the Town should consider replacing this facility.						
	Equipment	Condition	Est. Remaining Service Life	Priority	Cost Estimate	Remarks & Recommendations	Photos
	222, floor			2		Grade-supported floor slab is cracked, also spalled around center trench drain. See arch section	
	221, Wall				See arch	Previously existing building addition on the east side has been demolished, but the siding has not been repaired properly - now covered with roofing materials.	
	220,Foundation			3		Concrete at top of foundation wall and slab edge is spalled, deteriorating.	

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	216 Roof Purlins			8	Replace In kind \$5,000	Roof purlins between roof trusses are cracked, split and sagging (undersized).		
	218, Seismic				Will need engineering And \$\$\$\$	Building predates seismic design standards. Apparatus bay doors (3 bays) make the building vulnerable to wind and seismic forces.		
	217,Truss			7	Frame into purlins \$400	Three interior roof trusses (between apparatus bays): Top chord of truss is not braced against out-of- plane displacement		






Mechanical							
Mechanical system appears to be inadequate to heat entire building due to the fact that there is electric baseboard heat in the office area. Bathrooms are adequate for current usage , however they do not meet ADA requirements.							
Equipment	Condition	Est. Remaining Service Life	Priority	Cost Estimate	Remarks & Recommendations	Photos	
169,100 pound tank Provides propane for generator.	2 Fully operational, 0-25% of life expectancy used, no issues, no concerns,						
168,Briggs & Stratton 12 KW pad mounted generator Model: 01938 Installed in 2005	2 Fully operational, 0-25% of life expectancy used, no issues, no concerns,	15	10	\$8,000		 	




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	163, Electrical	3 Fully operational, 25-50% life expectancy used, periodic problems	5y	10	\$600 each	Fin tube is supplemental heat for office area.		
	161,Trench drain is piped to town of Newport's storm drain.					Trench drains in each truck bay should tie into Oil separator		
	160,Water Entrance	2 Fully operational, 0-25% of life expectancy used, no issues, no concerns,	15	10	\$500			
	156,275 Gallon Fuel Tank	2 Fully operational, 0-25% of life expectancy used, no issues, no concerns,	15	10	\$2,000		 	



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	<p>155,30 Gallon Electric Water Heater</p> <p>MFG: 06/2011</p>	<p>2</p> <p>Fully operational, 0-25% of life expectancy used, no issues, no concerns,</p>	15	10	\$1,000		 
	<p>154, Ceiling hung 138,000 BTU Oil-Fired Hot Air Furnace</p> <p>Make: Thermo Products</p> <p>Model: OT11-112</p>	<p>2</p> <p>Fully operational, 0-25% of life expectancy used, no issues, no concerns,</p>	15	10	\$8,000		 
	<p>157,Fixtures consist of floor mount tank type toilet and wall mount lavatory with manual dual handle faucet.</p>	<p>2</p> <p>Fully operational, 0-25% of life expectancy used, no issues, no concerns,</p>	15	10	\$1,000/ fixture		 

Electrical							
	Equipment	Condition	Est. Remaining Service Life	Priority	Cost Estimate	Remarks & Recommendations	Photos
	166,25 KVA pole-mounted transformer	2 Fully operational, 0-25% of life expectancy used, no issues, no concerns			By utility	Provides power to building through overhead service.	
	165,Meter is fed through overhead service	2 Fully operational, 0-25% of life expectancy used, no issues, no concerns,	15	10	\$250		
	159,Electrical Panelboard – Main Distribution Panel	2 Fully operational, 0-25% of life expectancy used, no issues, no concern	15	10	\$1,000		

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	158, Generator Switchgear	2 Fully operational, 0-25% of life expectancy used, no issues, no concerns,	15	10	\$5,000			
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Site

	Area in front of the building have been paved; several patches where catch basins have been installed were noted. Further from the building, alligator and edge cracking becomes more noticeable with pothole-like failure in the drive.							
	Equipment	Condition	Est. Remaining Service Life	Priority	Cost Estimate	Remarks & Recommendations	Photos	
	855, Pavement	5	2-5 years	5	Full replacement \$7.17 sq.ft.	Remove existing pavement around the valve box and replace any failed base course gravel, replace with new base course gravel, reset box (and catch basin grates if necessary), apply new binder and wearing surface.	